



## CITY OF DULUTH

Planning Division

411 W 1<sup>st</sup> St, Rm 208 \* Duluth, Minnesota 55802-1197

Phone: 218/730.5580 Fax: 218/723-3559

## STAFF REPORT

<b>File Number</b>	PL 14-156	<b>Contact</b>	Steven Robertson, (218) 730-5295
<b>Application Type</b>	MU-C Plan Review	<b>Planning Commission Date</b>	December 9, 2014
<b>Deadline for Action</b>	<b>Application Date</b>	October 10, 2014	<b>60 Days</b> December 13, 2014 (+30)
	<b>Date Extension Letter Mailed</b>		<b>120 Days</b> February 11, 2014 (+30)
<b>Location of Subject</b>	Corner of East Central Entrance and South Blackman Avenue		
<b>Applicant</b>	Northridge Construction, Inc	<b>Contact</b>	
<b>Agent</b>	Brett Carlson	<b>Contact</b>	bcarlson@northridgenet.com
<b>Legal Description</b>			
<b>Site Visit Date</b>	December 1, 2014	<b>Sign Notice Date</b>	October 28, 2014
<b>Neighbor Letter Date</b>	October 27, 2014	<b>Number of Letters Sent</b>	29

### Proposal

The applicant is proposing to build a 4 story and 98 room hotel. Any new structures in the MU-C district over 500 square feet need a plan review at a public hearing by the Planning Commission.

	<b>Current Zoning</b>	<b>Existing Land Use</b>	<b>Future Land Use Map Designation</b>
<b>Subject</b>	MU-C	Undeveloped	Central Business Secondary
<b>North</b>	MU-C	Commercial/Residential	Central Business Secondary, Traditional Neigh.
<b>South</b>	R-1, MU-P	Residential	Preservation, Urban Residential, Recreation
<b>East</b>	MU-C	Commercial	Central Business Secondary
<b>West</b>	MU-C, R-1	Residential, Commercial	C.B.S., Urban Residential, Recreation

### Summary of Code Requirements (reference section with a brief description):

UDC 50-15.3.D. A planning review by the planning commission, pursuant to the procedures in Article 5, shall be required for all new development, redevelopment and expansions in the MU-C district, including but not limited to construction of driveways or other access from public streets, and construction of off-premises signs, but excluding the following:

1. Building construction or expansion of less than 500 sq. ft. in area;
2. Building renovations that affect the exterior of structures that do not result in an increase in building square footage;
3. Grading and construction of parking areas less than 3,000 sq. ft.

50-18.1 Natural Resources Overlay (NR-O)

50-23 Connectivity and Circulation

50-24 Parking and Loading

50-25 Landscaping and Tree Preservation

50-26 Screening, Walls and Fences

50-29 Sustainability Standards

50-30 Building Design Standards

50-31 Exterior Lighting

III. B-1

## **Comprehensive Plan Findings (Governing Principle and/or Policies) and Current History (if applicable):**

Future Land Use - Central Business Secondary. An area adjacent to and supporting the primary central business area or a stand-alone area providing a similar mix of destination land uses but at a lower intensity than the primary CB area. Includes mixed regional and neighborhood retail, employment centers, public spaces, medium density residential, and public parking facilities.

### **Discussion (use numbered or bullet points; summarize and attach department, agency and citizen comments):**

- 1) Applicant is proposing to build a 4 story, 98 room hotel. The maximum height of a non-residential structure (that is not mixed use) is 45 feet. The proposal does not exceed limits on height, lot area, lot frontage, or front/side/rear yard setbacks.
- 2) The development area is generally flat on the western half, with an elevation around 1220. The elevation increases to the mid and eastern edges, raising to around 1230. The lot has an older, unused, access off of East Central Entrance (that is not proposed to be utilized). Brewery Creek is a General Development waterway, with a structure and impervious surface setback of 50 feet.
- 3) 50-23 (Connectivity and Circulation). The development has about 320 feet of length adjacent to East Central Entrance and 550 on Clearwood Drive. The project will provide two curb cuts off of Clearwood Drive, and will construct a portion of Clearwood Drive to city standards. The project is also proposing a sidewalks from the development to the sidewalk on East Central Entrance.
- 4) 50-24 (Parking and Loading). Project provides 100 parking spaces; no more than 50% of parking will be in front of the structure.
- 5) 50-25 (Landscaping and Tree Preservation). Applicant has completed the tree preservation plan, and it has been reviewed by the City Forester. The landscaping plan is currently being revised (at the time this staff report was written) to show compliance with the 15% interior lot landscaping, 30% tree canopy coverage, and street frontage landscaping.
- 6) 50-26 (Screening, Walls and Fences). Ground mounted mechanical equipment will be screened, and the roof mounted equipment will also be screened, or not visible from the adjacent public right of way. Dumpster will be screened.
- 7) 50-29 (Sustainability Standards). The project requires 4 sustainability points; this information will need to be provided with the building permit application.
- 8) 50-30 (Building Design Standards). Applicant will submit revised information on how they are complying with this requirement.
- 9) 50-31 (Exterior Lighting). The lighting plan substantially complies with the limit at the property line, but exceeds the maximum illumination at a few areas around the property line. The applicant will need to submit additional information on the type of light fixture and light pole that will be used; this can be submitted with the building permit application.
- 10) One citizen comment was received related to traffic safety (included). MnDOT has indicated that the intersection of Blackman and Central Entrance does not warrant a stop light. City Engineering stated the need to build Clearwood to city standards (urban section), the bike path maintained (or relocated), the shared path needs to have a clear zone along the curb line, and the needs to be a turn around for the snow plows at Clearwood. Engineering also pointed out the need for a stormwater management plan that provides full treatment for stormwater (rate and volume control), that will also require public infrastructure to get runoff to brewery creek on the other side of Clearwood Drive.
- 11) An approved Plan Review will expire if the project or activity authorized by the permit is not begun within 1 year.

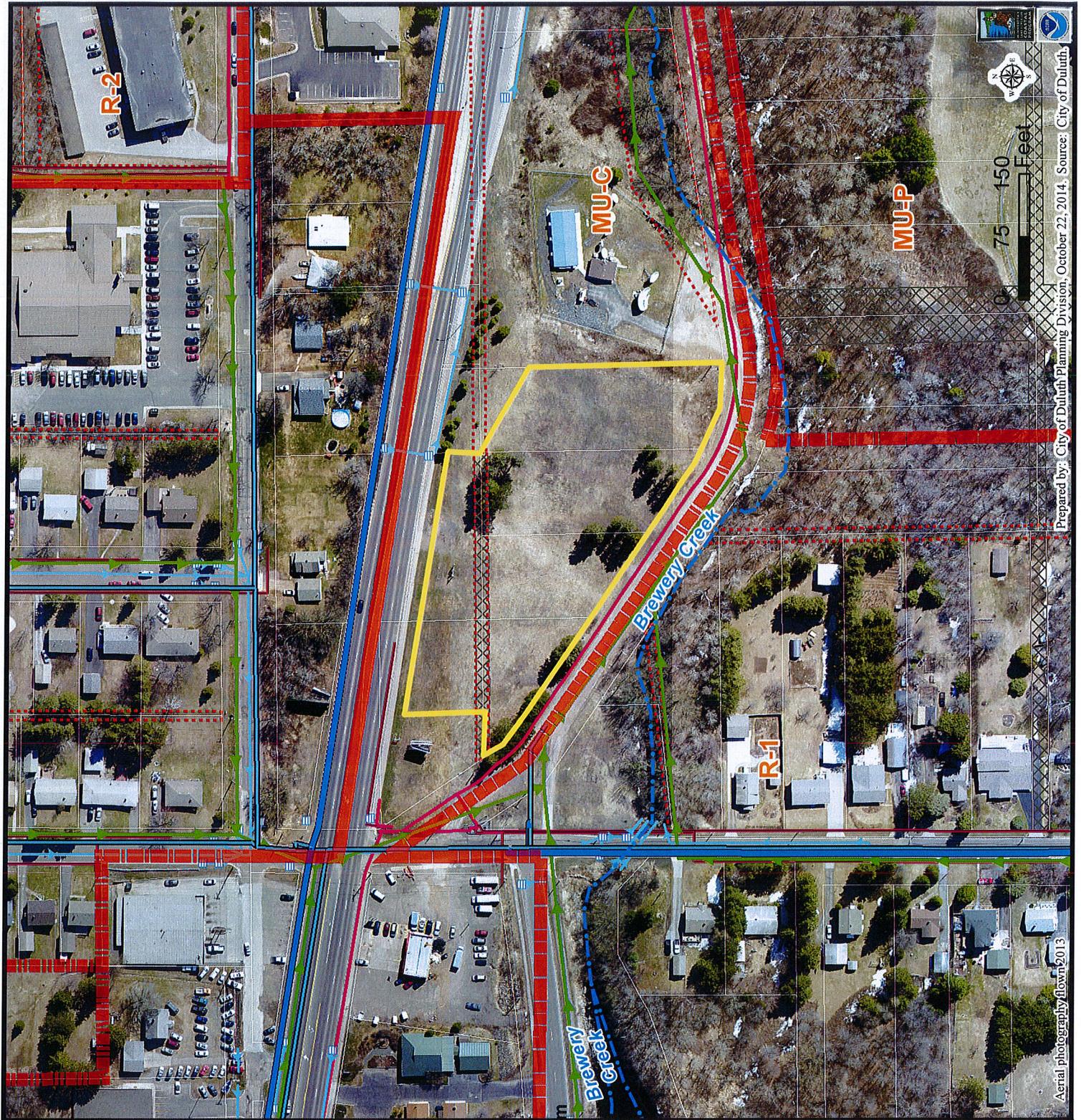
### **Staff Recommendation (include Planning Commission findings, i.e., recommend to approve):**

Staff recommends Planning Commission approve the Plan Review, subject to the following conditions:

- 1) The project be limited to, constructed, and maintained according to site plans dated 11/21/14
- 2) Applicant revise lighting plan to show compliance with UDC section 50-31, Exterior Lighting, and revise landscape plan to show compliance with UDC section 50-25, Landscaping and Tree Preservation
- 3) Any alterations to the approved plans that do not alter major elements of the plan may be approved by the Land Use Supervisor without further Planning Commission; however, no such administrative approval shall constitute a variance from the provisions of Chapter 50.

B-2

### **Attachments (aerial photo with zoning; future land use map; site plan; copies of correspondence)**



**City Planning**  
**DULUTH**  
PL 14-156  
Central Entrance & Blackman Ave

### Legend

- Trout Stream (GPS)
- - - Other Stream (GPS)
- Utility Easement
- Other Easement
- Vacated ROW

### Water Distribution System

- 30 - 60" Water Pipe
- 16 - 24" Water Pipe
- 4 - 6" Water Pipe

### Network Structure

- Storage Basin
- Pump Station

### Sanitary Sewer Collection System

- Sanitary Sewer Collector
- Sanitary Sewer Interceptor
- Sanitary Sewer Forced Main
- Storm Sewer Catch Basin

### Subtype

- Storm Sewer Pipe

### Gas Distribution Main

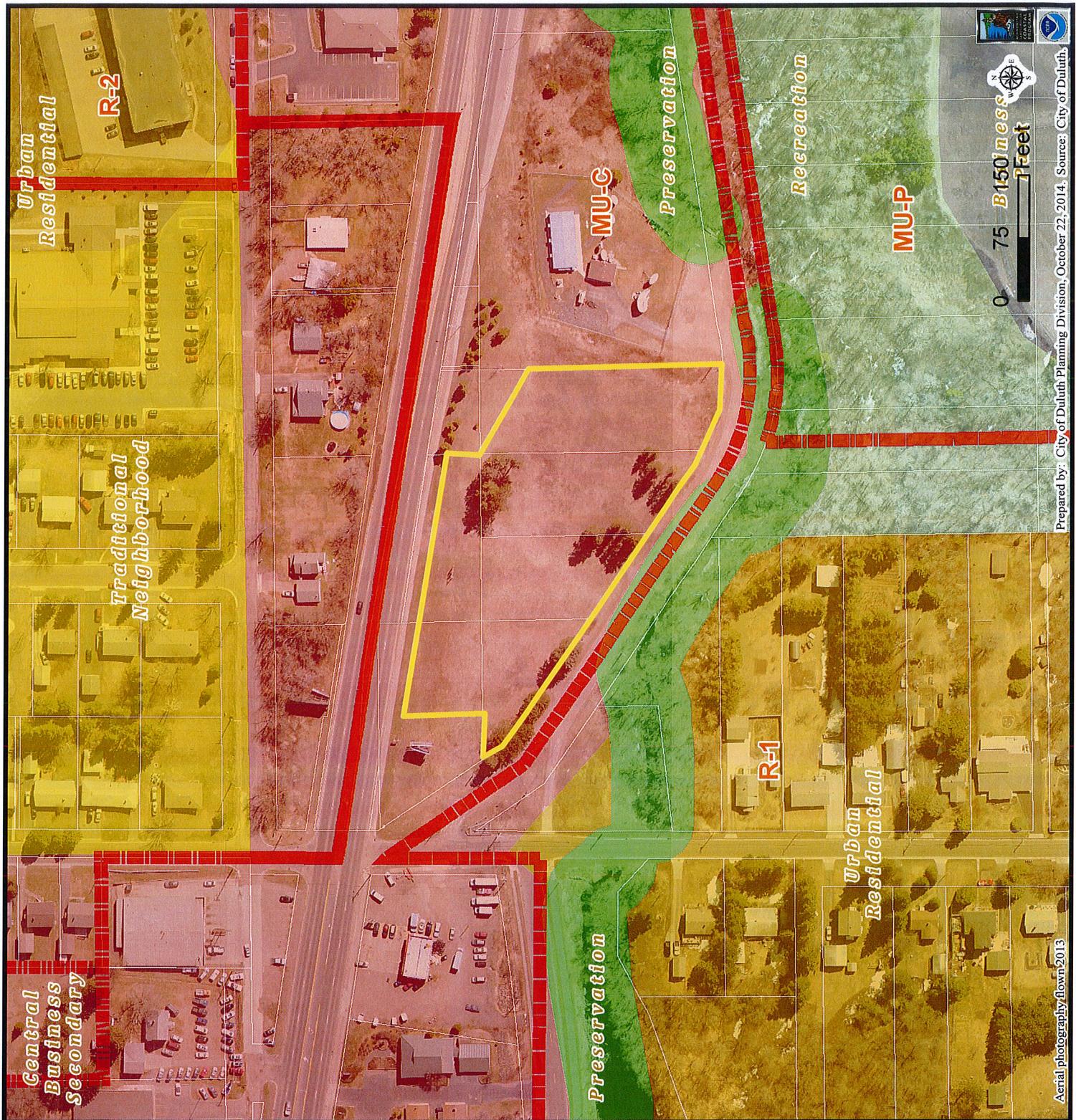
#### Nominal Diameter

- 8" - 16" Gas Pipes
- 4" - 6" Gas Pipes
- 0" - 4" Gas Pipes

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

**Prepared by:** City of Duluth Planning Division, October 22, 2014. **Source:** City of Duluth Aerial photography flown 2013

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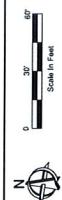


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#### Data Summary:

	Size in Feet	Percentage
Boundary	1,660 ft.	100.0%
Building	1,885	26.2%
Parking Lot	4,874	42.2%
Streets	3,394	3.4%
Impervious Surface Area	6,353	63.8%
Open Space Areas	3,227	32.2%

#### Zoning:

Mixed Use - Commercial (M-U-C)

#### Description:

Length 9, 10, 11, 13, 4, & 15, Block 1, Chippewa Park, Duluth, Minnesota

#### Planning Formula:

Permitted uses per zoning: 200 sq. ft. of gross floor space per 100 sq. ft. of gross floor area in all accessory uses including restaurants. Permitted percentage of total gross building space is 40%. All mixed-use or general commerce uses are permitted under the City of Duluth's Zoning District. Building or property containing either a hotel, motel, inn, guest house, or residence may have a maximum of 10% accessory parking within the front yard of the building. Hotel: Public: 16 Rooms.

Required: 4 ADA Handicapped Parking Spaces (70 sq. ft. each) 73 Total

Proposed: 5 ADA Handicapped Parking Spaces (70 sq. ft. each) 100 Total

#### Legend:

Boundary Line	
Existing Lot Line	
Survey Monument	
Establishment Line	
Building Surface Line	
Proposed Building	
Proposed Concrete Curb & Gutter	
Proposed Driveway or Sloping	
Proposed ADA Parking Stall	
Proposed Sign	
Proposed Building Wall	

## PRELIMINARY

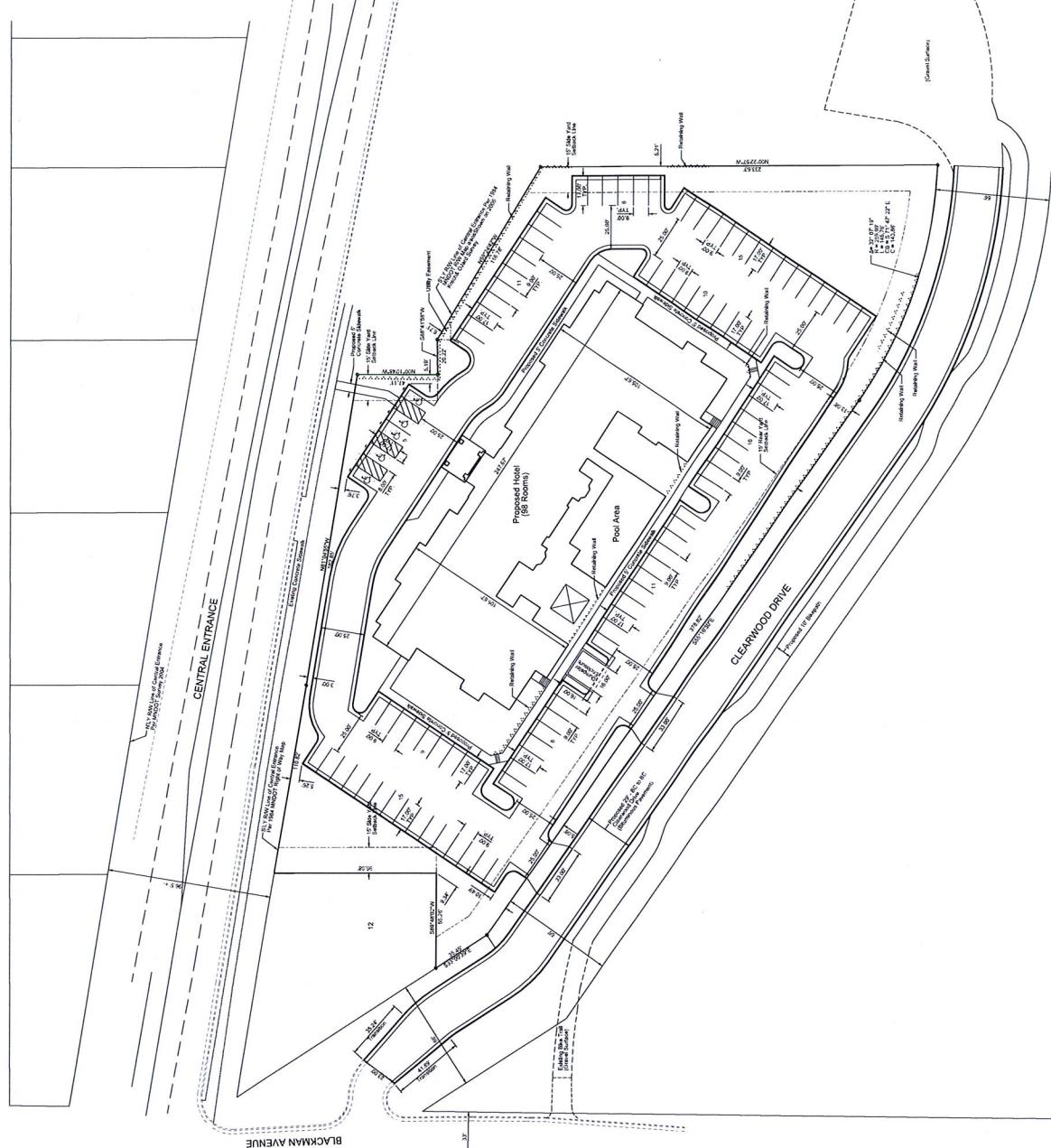
#### PROPOSED HOTEL DULUTH, MINNESOTA

PREPARED FOR:  
NORTHRIDGE ASSETS

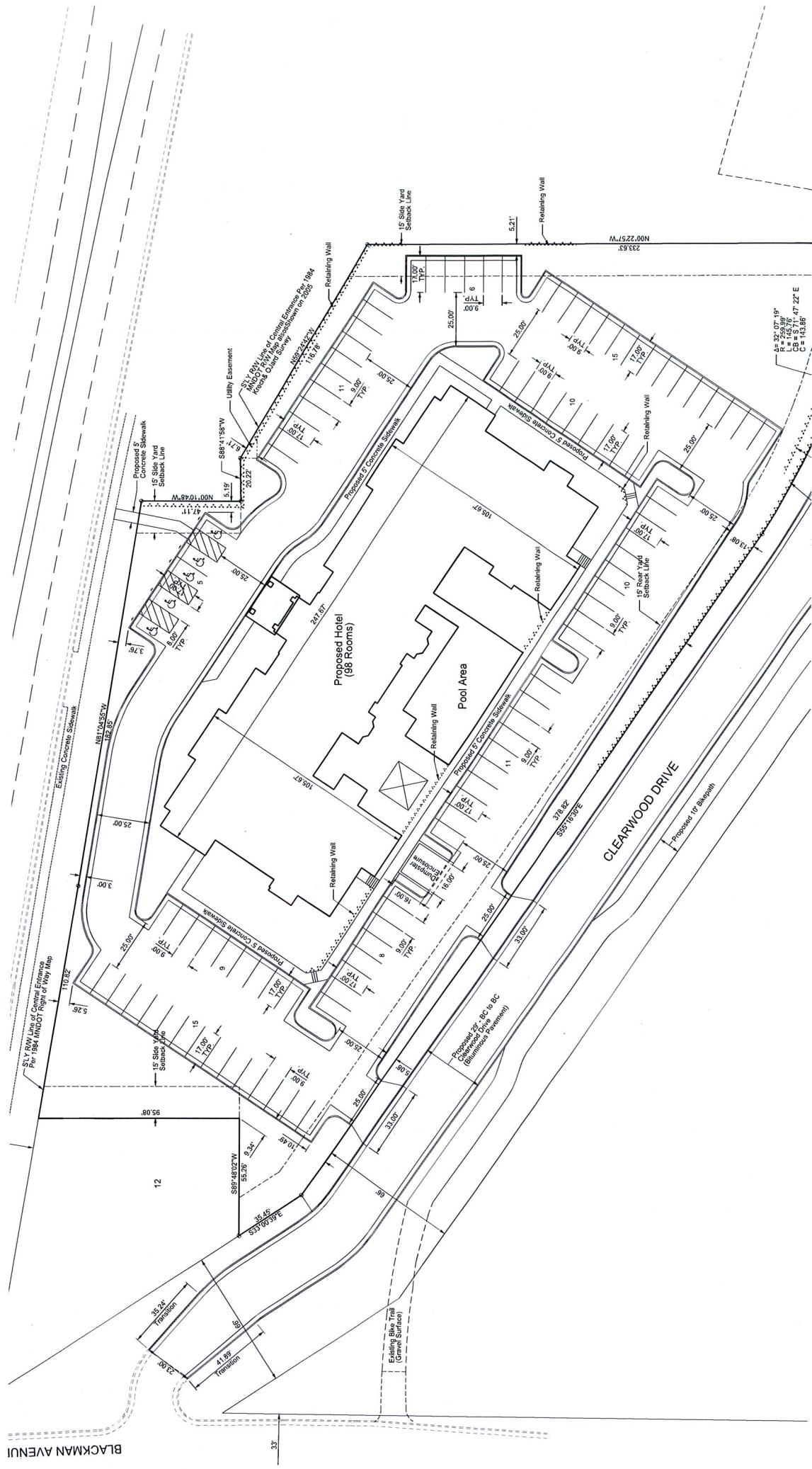
#### SITE PLAN

DRAWING NUMBER	DESIGNED BY	CHEKED BY	DATE
MAP NO. 14118	KAM	-	11/21/14 002

DRAWING REV/S/ONS
NO.
DATE
DESCRIPTION

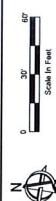


BLACKMAN AVENUE





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#### Legend

Boundary Line
Existing City Line
Survey Monument
Element Line
Subdivision Line
Sanitary Manhole
Storm Sewer Manhole
Storm Sewer Line
Concrete Curb & Gutter
Telephone Poles
Telephone Lines
Gasholder
Electrical Line
Overhead Power Line
Power Pole
Anchor
Fence Line
Treeline
Bilingual Sign
Major Contour Line
Minor Contour Line

#### Notes:

- Existing features are based on survey files and data provided from the City of Duluth. All information is subject to change and is not to be relied upon until confirmed from the City of Duluth and the surveyor.
- The utility information shown from the City of Duluth is based only on schematic plans and is not based on field survey.

PRELIMINARY  
CROSS SECTION

PROPOSED HOTEL  
DULUTH, MINNESOTA

PREPARED FOR:  
NORTHRIDGE ASSETS

#### EXISTING TOPOGRAPHY

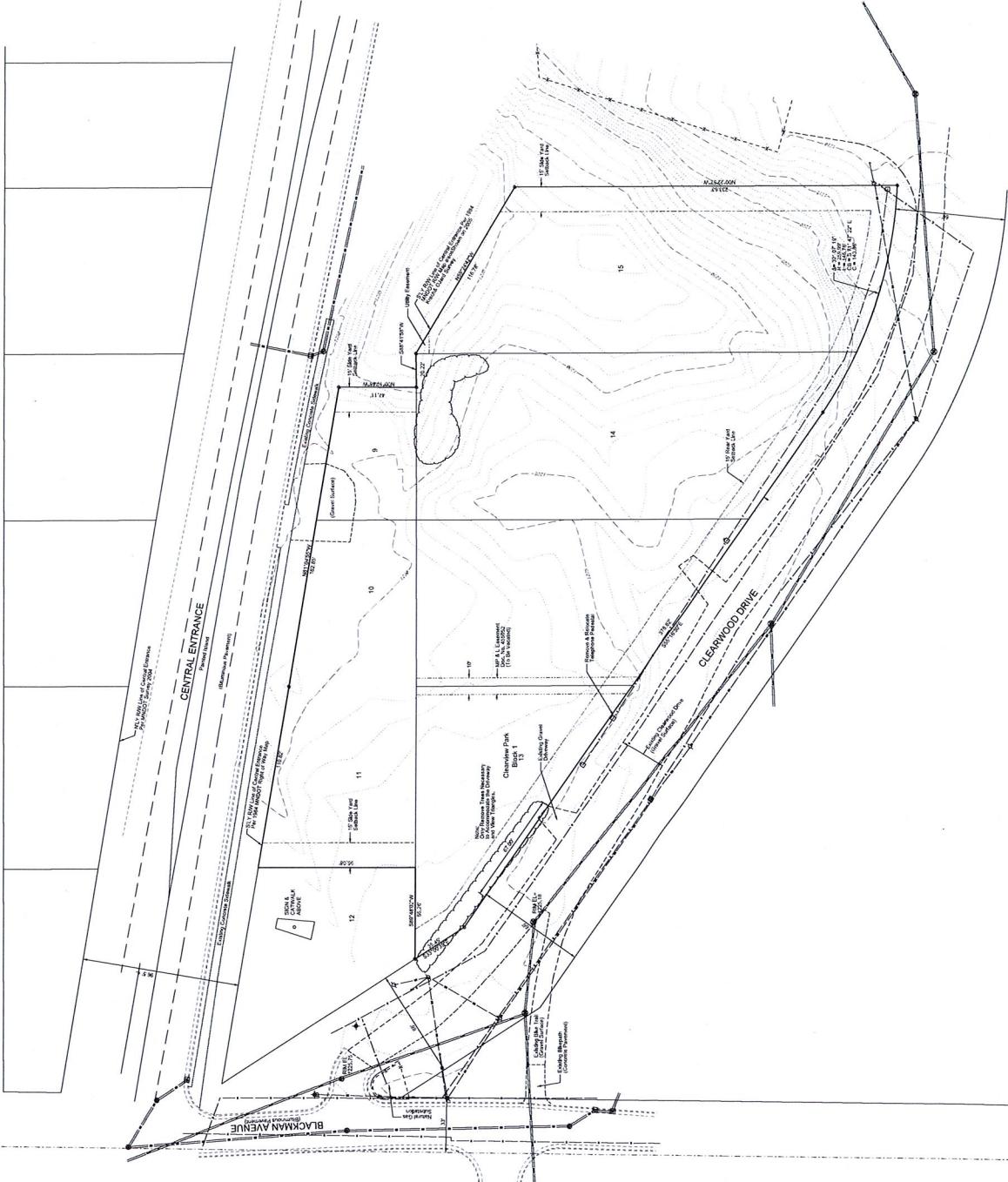
DRAWN BY	MPS	RECHECKED BY	KAM	CHIEF CHECKED BY	SPM
DRAWN DATE	141118	RECHECKED DATE		11/21/14	PRINTED DATE

PSPLAN110.Dwg Date 09/2014 8:46:29 AM Sheet 2 of 2 Sheet Set Name: Hotel-Duluth

100-2121-N

B-9

DRAWING REVISIONS		
NO.	DATE	DESCRIPTION





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**Legend**

- Existing Major Contour Line
- Existing Minor Contour Line
- Existing Spot Elevation
- Proposed Major Contour Line
- Proposed Contour Line
- Proposed Grade Boundary
- Proposed Retaining Wall

**Notes:**

The proposed grading of Bearwood Drive extends beyond the extent of the existing property. It will be necessary to negotiate contracts with the existing property owner(s) to extend the proposed contours into the existing property.

PRELIMINARY  
CONSTRUCTION

PROPOSED HOTEL  
DULUTH, MINNESOTA

PREPARED FOR:  
NORTH RIDGE ASSETS

**GRADING PLAN**

DRAWN BY	DESIGNED BY	DATE
MPS	KAM	11/21/14
CPS PROJECT NO.	OWNER PROJECT NO.	DRAWING NO.
14118	-	004

PS-2014118-Duluth\_NorthRidge\_Elevations\_Bearwood\_Drive\_SurveyData\_Cleaned.dwg

B-10

10/20/2014

10/20/2014



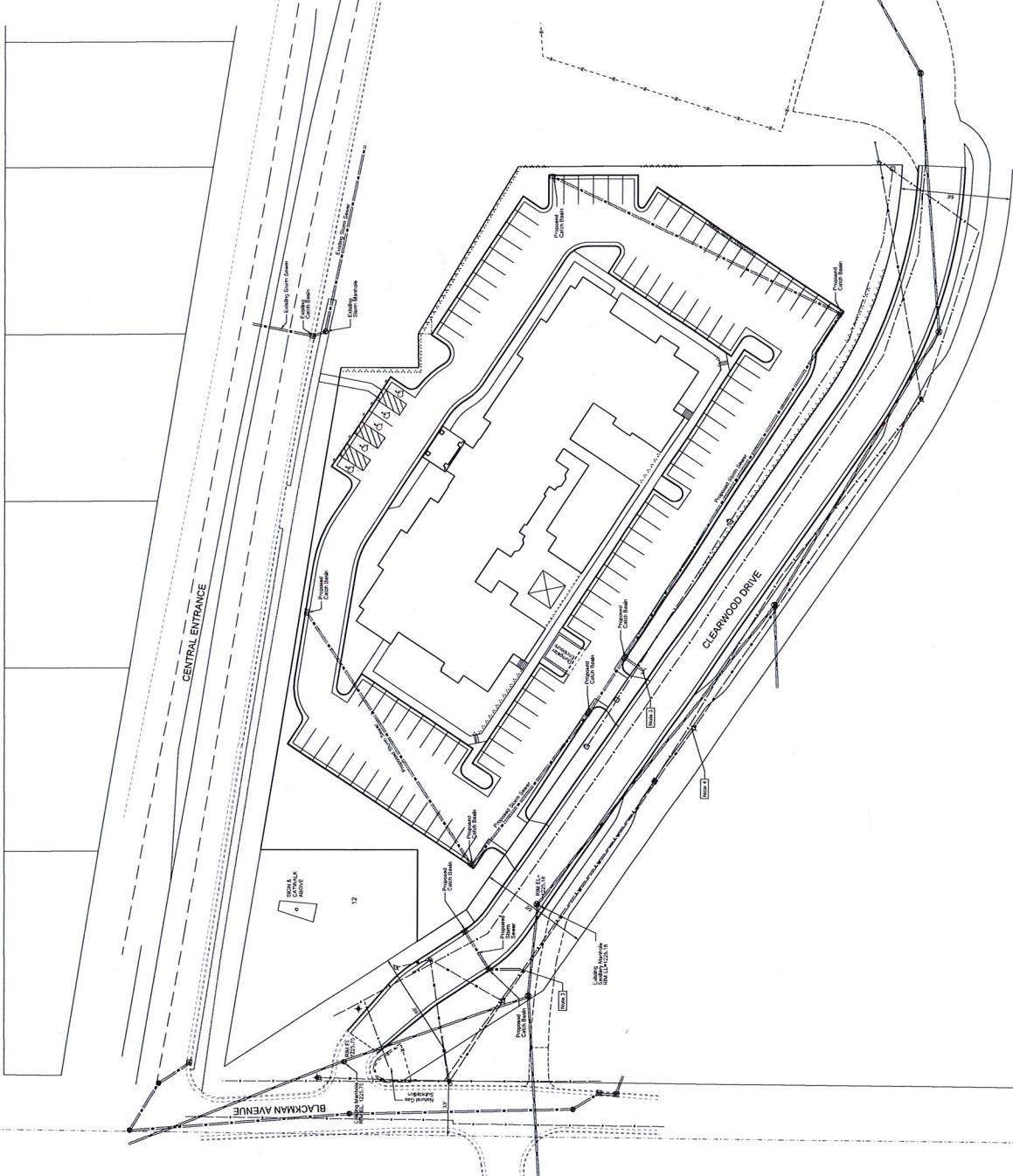
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*Utility Notes:*

1. Proposed utility system and drainage systems are subject to change as design is refined.
2. Storm sewer is available for general planning purposes only.
3. The proposed stormwater management system will discharge to the existing Berry Creek below the south side of Clearwood Drive.
4. The TR 20 segment is aligned to minimize conflicts with existing utility poles and pipes.

DRAWING REVISIONS	NO.	DATE	DESCRIPTION



PRELIMINARY  
NOT REFINED

PROPOSED HOTEL  
DULUTH, MINNESOTA

PREPARED FOR:  
NORTHRIDGE ASSETS

**UTILITY PLAN**

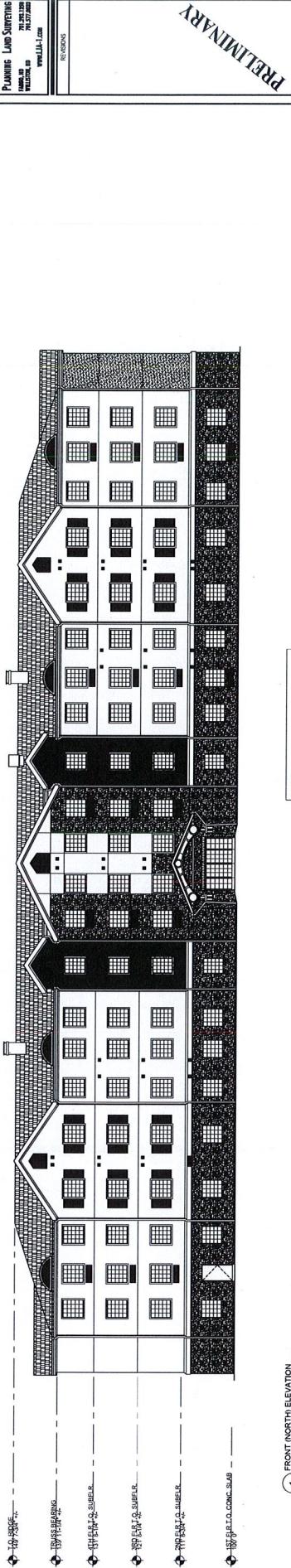
DRAWN BY	DESIGNED BY	CHEKED BY	DATE
MPS	KAM	-	11/21/14

CD PROJECT NO. - DRAWING NO. 003

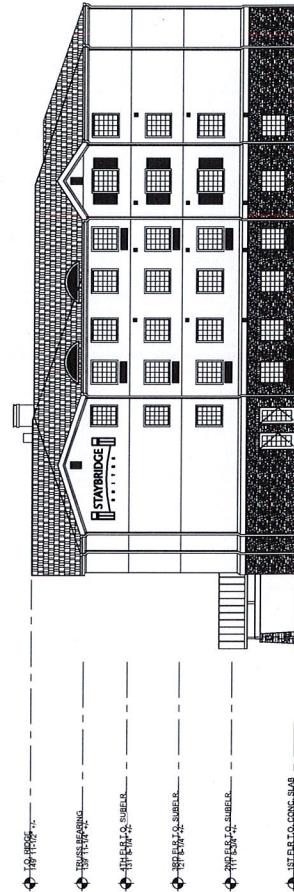
B-11

**LJA**ARCHITECTURE, ENGINEERING,  
PLANNING, LAND SURVEYING  
PHONE: 612.257.1200  
FAX: 612.257.1205  
WEBSITE: [www.lja.com](http://www.lja.com)

RE: DRAWINGS



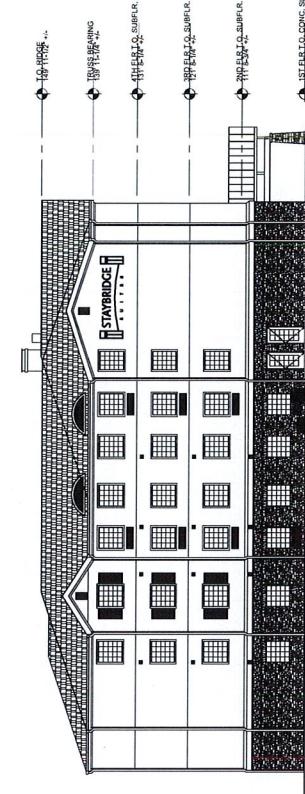
1 FRONT (NORTH) ELEVATION



2 (RIGHT) (WEST) ELEVATION

ITEM	DESCRIPTION	NOTES
1.0.0.0.1	EXTERIOR ELEVATION	EXTERIOR ELEVATIONS
1.0.0.0.2	TOP FLOOR	TOP FLOOR SURFACE.
1.0.0.0.3	TOP FLOOR SUPER.	TOP FLOOR SURFACE.
1.0.0.0.4	TOP FLOOR SUB.	TOP FLOOR SURFACE.
1.0.0.0.5	TOP FLOOR SUB.	TOP FLOOR SURFACE.

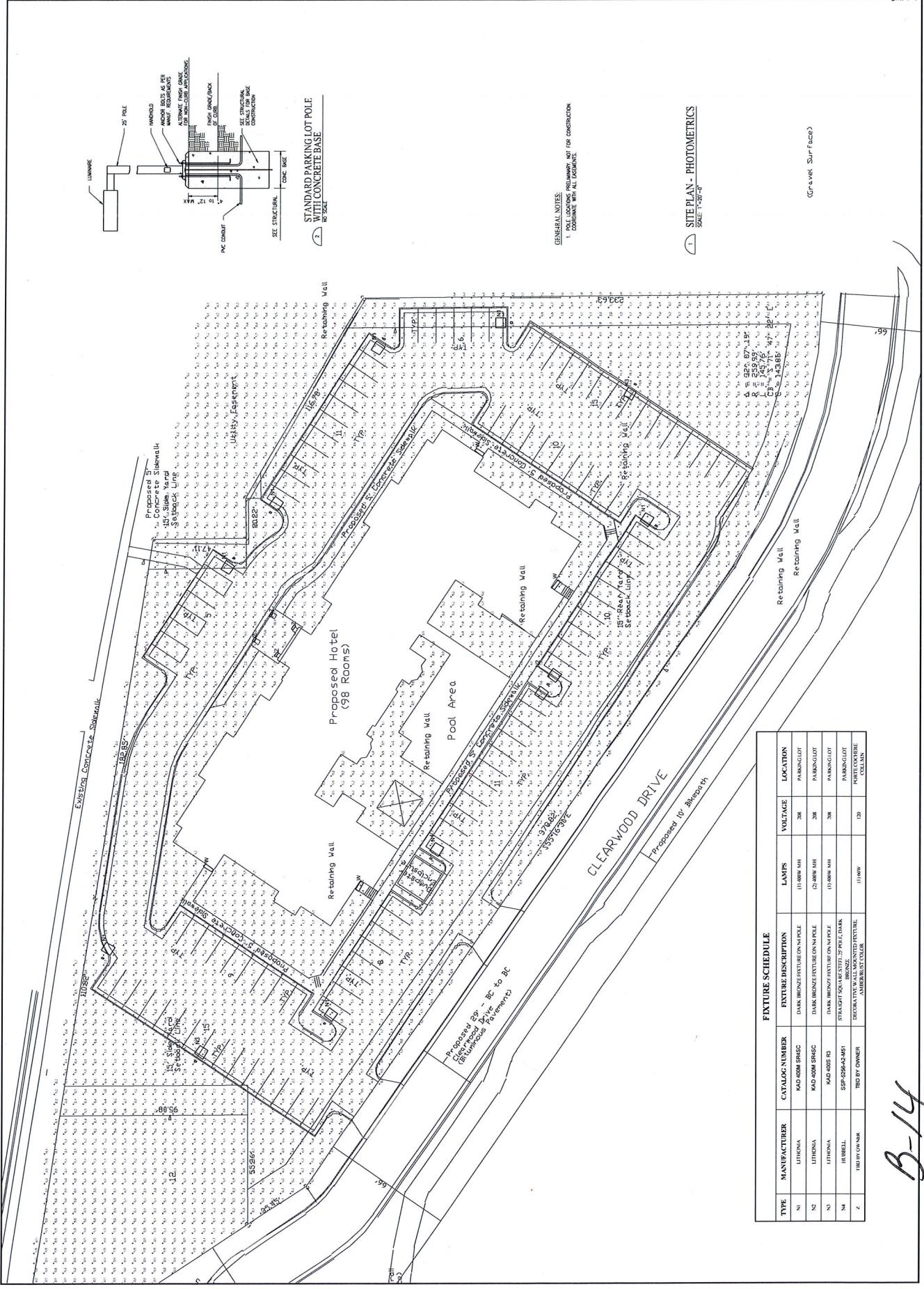
3 LEFT (EAST) ELEVATION

*B-12*

A200

B-13





# STAYBRIDGE SUITES

## DULUTH, MINNESOTA



ARCHITECTURE ENGINEERING  
PLANNING Land Surveying  
INTERIOR DESIGN  
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FAX 701-292-2400  
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REVISIONS

PRELIMINARY

SHEET INDEX  
PG. 1  
L100 LANDSCAPE PLAN  
L200 LANDSCAPE NOTES/DETAILS

### PLANT PALETTE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
CH	CELTIS OCCIDENTALIS	COTTONWOOD	2.5 CAL	11
NA	ACER PLATANOIDES	NORWAY MAPLE	2.5 CAL	13
FA	ACER SPICULIFOLIA	FLAME MAPLE	2.5 CAL	6
VW	PICEA GLAUCA CONICA	WEIPING WHITE SPRUCE	6 FT	6
WP	PRUNUS STROBILACA	WINTER PRUNE	6 FT	4
SHRUBS				
BB	BUXUS SPP ALATA	BURNING BUSH	1 GAL.	22
FD	FORSYTHIA DODONEA	FORSYTHIA DODONEA	1 GAL.	14
VD	COMON SWEET VALADINE	VARIGATED DOODOO	1 GAL.	14
GRASSES				
FR	CHAMAEPHYTUM ACHILLEIFOLIUM	FEATHER REED GRASS	1 GAL.	8

### GENERAL NOTES:

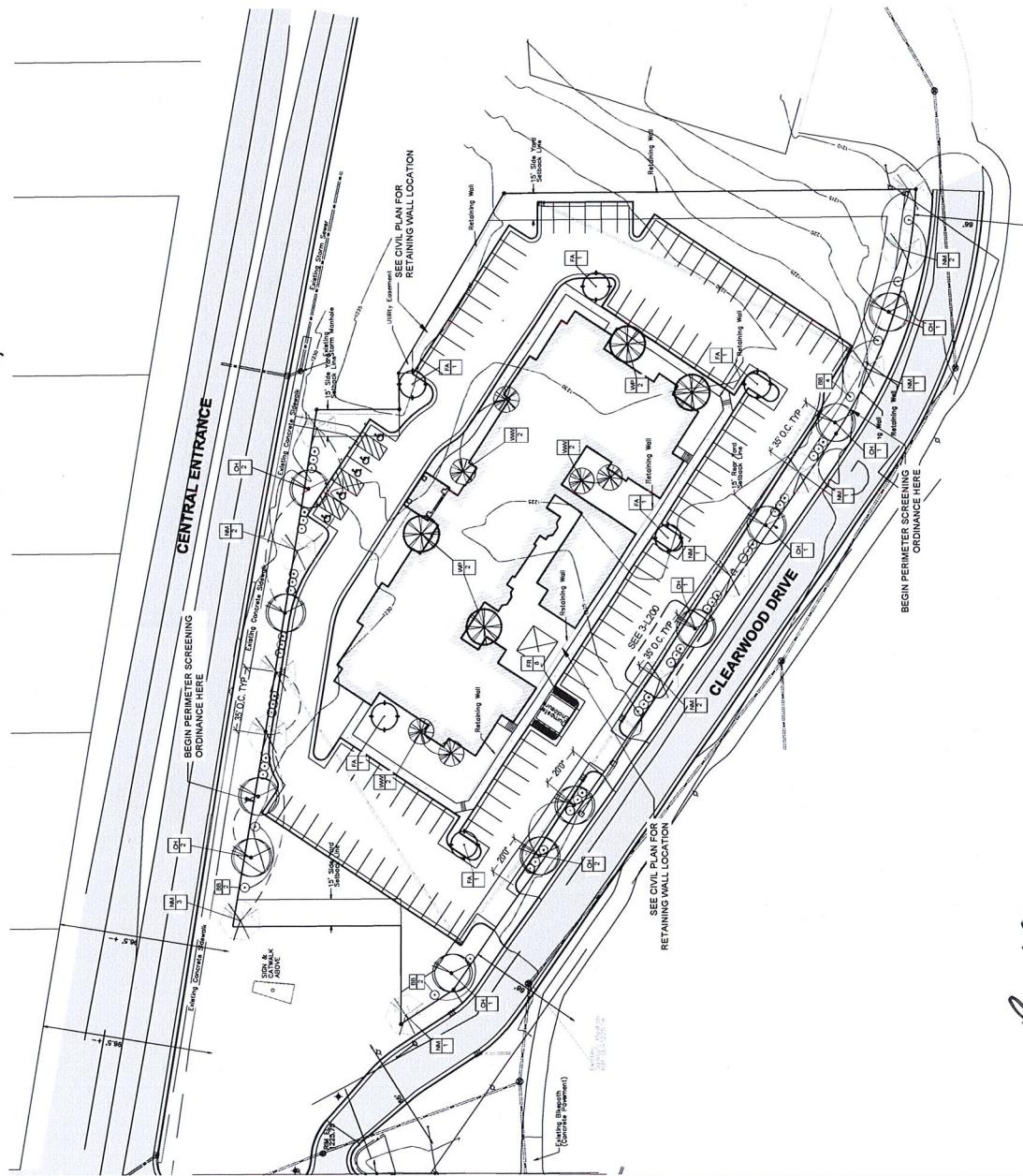
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS ON THE PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING A UTILITY UNDERGROUND LOCATION SERVICE PRIOR TO TAKING PLANT LOCATIONS.
- THE OWNER RESERVES THE RIGHT TO INCREASE THE TOTAL QUANTITIES OF THE LANDSCAPE MATERIAL AND/OR UNITS. USE LARGER UNIT SIZES OR VARY THE SPECIES AT THE TIME OF PLANTING IF THERE ARE AVAILABILITY CONSTRAINTS FOR THE LANDSCAPE MATERIAL.
- NO PLANTING SUBSTITUTIONS SHALL BE ACCEPTED UNLESS APPROVAL IS REQUESTED FROM THE CITY OF DULUTH, MINNESOTA, AND THE LANDSCAPE DESIGNER PRIOR TO THE SUBMISSION OF PLANT MATERIAL.
- ALL INSTALLATION SHALL BE IN CONFORMANCE TO THE CITY OF DULUTH LANDSCAPING AND TREE PRESERVATION REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL ONGOING MAINTENANCE OF THE NEWLY INSTALLED MATERIALS UNTIL THE TIME OF OWNER SIGN-OFF, ANY AND ALL ACTS OF VANDALISM OR DAMAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL FOR ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE AFTER THE COMPLETION OF PLANTING ALL LANDSCAPE MATERIALS AND UNITS. ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- SOIL IS RECOMMENDED AT ENTRY AREAS AND NOTED ON PLANS. SEE OPEN AREAS MATURED OR OTHERWISE NOTED. REFERENCE SHPPN NOTES FOR PROPER INSTALLATION AND MIXTURES.

CITY OF DULUTH REQUIREMENTS  
PERMIT TO SCREEN FROM PUBLIC STREETS:  
1 TREE PER 15 LF. OF STREET FRONTAGE  
3 LARGE SHRUBS PER 25 FEET  
  
BOULEVARD PLANTINGS:  
TREE PER 15 LF. OF STREET FRONTAGE  
CLEARWOOD DRIVE: 153 LF. OF ST. FRONTAGE/25'-16' TREES  
CENTRAL DRIVE: 265 LF. OF ST. FRONTAGE/25'-17' 8 TREES  
  
INTERIOR LANDSCAPE REQUIREMENTS  
1 TREE PER 300 SQ. FT. OF LANDSCAPE AREA.

L100

CALL BEFORE YOU DIG

B-15



LAUREL, ERIC	1000
PROJ. DATE:	10/20/04
FILE NAME:	1401
DESIGNED BY:	ER
DRAWN BY:	ER
SHPT. DESIGNED BY:	ER
SHPT. DRAWN BY:	ER

LANDSCAPE PLAN
----------------

L100





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PLANNING  
LAND SCRETTING  
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REVISIONS

## PRELIMINARY

## STAYBRIDGE SUITES 90 UNIT / 4 STORY

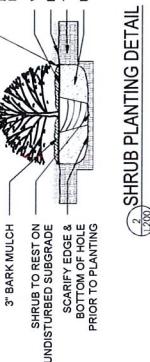
DULUTH, MN

L200

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PLANTING SPECIFICATIONS.	
1.	PLANTING BED PREPARATION: ALL MASS PLANTING BEDS SHALL BE TILLED TO A MINIMUM DEPTH OF 12 (TO) INCHES. AMENDMENTS SHALL BE APPLIED AFTER CULTIVATION.
2.	BLOCK WIND ACCESS: TO SOIL UNTIL EXCAVATED FROM THE SITE AND PLANTING HOLES AND MULCH OUT. OTHER MATERIALS SHALL BE BARRIED BY ALL PERSONNEL. PLANTING BEDS TO REACH 3 INCHES OF MULCH WITH NO FIBER MAT. ALL TREES ARE TO BE TAKEN.
3.	ALL GROUNDCOVER PLANTINGS WILL BE PLANTED UPON INSTALLATION, WITH FERTILIZER, ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION, WITH DRIED DOME MEAL AND/OR OTHER SPECIFIED FERTILIZER MIXED IN WITH THE PLANTINGS.
4.	SOIL PER THE MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. SOIL PER THE MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE.
5.	BLICK MATERIAL, AS SPECIFIED ON THE LANDSCAPE PLANS, MULCH MASS PLANTING BEDS TO A DEPTH OF ONE EIGHT (8) INCH DEEP. VIBRATE, MULCH ALL FOUNDATION, MIDPOINT OF TREE MIDPOINT OF TREE 2 STRANDS NO. 12 GALV. GUY WIRE, PROVIDE 3' PER OF WASHED River ROCK, MULCH OVER 8 INCH BLACK POXY LANDSCAPE FABRIC OVER ALL DECIDUOUS AND EVERGREEN TREES TO RECEIVE THREE (3) INCH DEEP SHREDDED HARDWOOD MULCH AND NO MULCH IN DIRECT CONTACT WITH THE TREE TRUNK.
6.	6 FOOT MAT™, INSTALL TWO STAKES. REMOVE AFTER ONE YEAR STAKES - NOTCHED TURNBUCKLES (1/2" X 6)
7.	TREE STAKING: ACCORDING TO THE PROVIDED DECS, IT IS THE CONTRACTOR'S DUTY THE TO PROVIDE ANCHOR STAKES, WHICH ARE TO BE USED TO SUPPORT THE TREES AND PLUMS CONDITION AT NINE TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD. THE CONTRACTOR SHALL REMOVE THE PLANT GUARANTEE PERIOD IF INSTALLED PRIOR TO OWNER ACCEPTANCE.
8.	USE NATIVE SOIL TO BACKFILL
9.	REMOVED ALL BURLAP, WIRE BASKETS AND ROPE FROM ROOT BALL
10.	PLANTS SHALL BE PLANTED ON THE SAME DAY AS THEY ARE RECEIVED. THE PLANTS SHALL BE PLANTED IN A ROW, WITH A SPACING OF 3 FT. AND A CENTERLINE TO CENTERLINE SPACING OF 2 FT. PLANTS SHALL BE PLANTED SO THAT THE PLANT IS 12 INCHES FROM THE CENTERLINE OF THE ROW. PLANTS SHALL BE PLANTED IN A ROW, WITH A SPACING OF 3 FT. AND A CENTERLINE TO CENTERLINE SPACING OF 2 FT. PLANTS SHALL BE PLANTED ON THE SAME DAY AS THEY ARE RECEIVED. THE PLANTS SHALL BE PLANTED IN A ROW, WITH A SPACING OF 3 FT. AND A CENTERLINE TO CENTERLINE SPACING OF 2 FT. PLANTS SHALL BE PLANTED ON THE SAME DAY AS THEY ARE RECEIVED. THE PLANTS SHALL BE PLANTED IN A ROW, WITH A SPACING OF 3 FT. AND A CENTERLINE TO CENTERLINE SPACING OF 2 FT.
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24.	PLANTS SHALL BE PLANTED ON THE SAME DAY AS THEY ARE RECEIVED. THE PLANTS SHALL BE PLANTED IN A ROW, WITH A SPACING OF 3 FT. AND A CENTERLINE TO CENTERLINE SPACING OF 2 FT.

PLANTING NOTES:	
1.	PLANT LOCATIONS ARE TO BE ADJUSTED AS NECESSARY TO SCREEN UTILITIES BUT NOT BLOCK WINDOWS OR IMPED ACCESS.
2.	MULCH OUT. OTHER MATERIALS SHALL BE BARRIED BY ALL PERSONNEL. PLANTING BEDS TO REACH 3 INCHES OF MULCH WITH NO FIBER MAT. ALL TREES ARE TO BE TAKEN.
3.	ALL GROUNDCOVER PLANTINGS WILL BE PLANTED UPON INSTALLATION, WITH FERTILIZER, ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION, WITH DRIED DOME MEAL AND/OR OTHER SPECIFIED FERTILIZER MIXED IN WITH THE PLANTINGS.
4.	SOIL PER THE MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. SOIL PER THE MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE.
5.	BLICK MATERIAL, AS SPECIFIED ON THE LANDSCAPE PLANS, MULCH MASS PLANTING BEDS TO A DEPTH OF ONE EIGHT (8) INCH DEEP. VIBRATE, MULCH ALL FOUNDATION, MIDPOINT OF TREE MIDPOINT OF TREE 2 STRANDS NO. 12 GALV. GUY WIRE, PROVIDE 3' PER OF WASHED River ROCK, MULCH OVER 8 INCH BLACK POXY LANDSCAPE FABRIC OVER ALL DECIDUOUS AND EVERGREEN TREES TO RECEIVE THREE (3) INCH DEEP SHREDDED HARDWOOD MULCH AND NO MULCH IN DIRECT CONTACT WITH THE TREE TRUNK.
6.	6 FOOT MAT™, INSTALL TWO STAKES. REMOVE AFTER ONE YEAR STAKES - NOTCHED TURNBUCKLES (1/2" X 6)
7.	TREE STAKING: ACCORDING TO THE PROVIDED DECS, IT IS THE CONTRACTOR'S DUTY THE TO PROVIDE ANCHOR STAKES, WHICH ARE TO BE USED TO SUPPORT THE TREES AND PLUMS CONDITION AT NINE TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD. THE CONTRACTOR SHALL REMOVE THE PLANT GUARANTEE PERIOD IF INSTALLED PRIOR TO OWNER ACCEPTANCE.
8.	USE NATIVE SOIL TO BACKFILL
9.	REMOVED ALL BURLAP, WIRE BASKETS AND ROPE FROM ROOT BALL
10.	PLANTS SHALL BE PLANTED ON THE SAME DAY AS THEY ARE RECEIVED. THE PLANTS SHALL BE PLANTED IN A ROW, WITH A SPACING OF 3 FT. AND A CENTERLINE TO CENTERLINE SPACING OF 2 FT.
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TYPICAL PERIMETER SCREENING DETAIL  
150° PROJECTED GROWTH BOUNDARY  
30° DIAMETER MULCH RING TYP.  
PROPERTY LINE

*B-16*



LANDSCAPE NOTES AND DETAILS

LJA

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5/25/12

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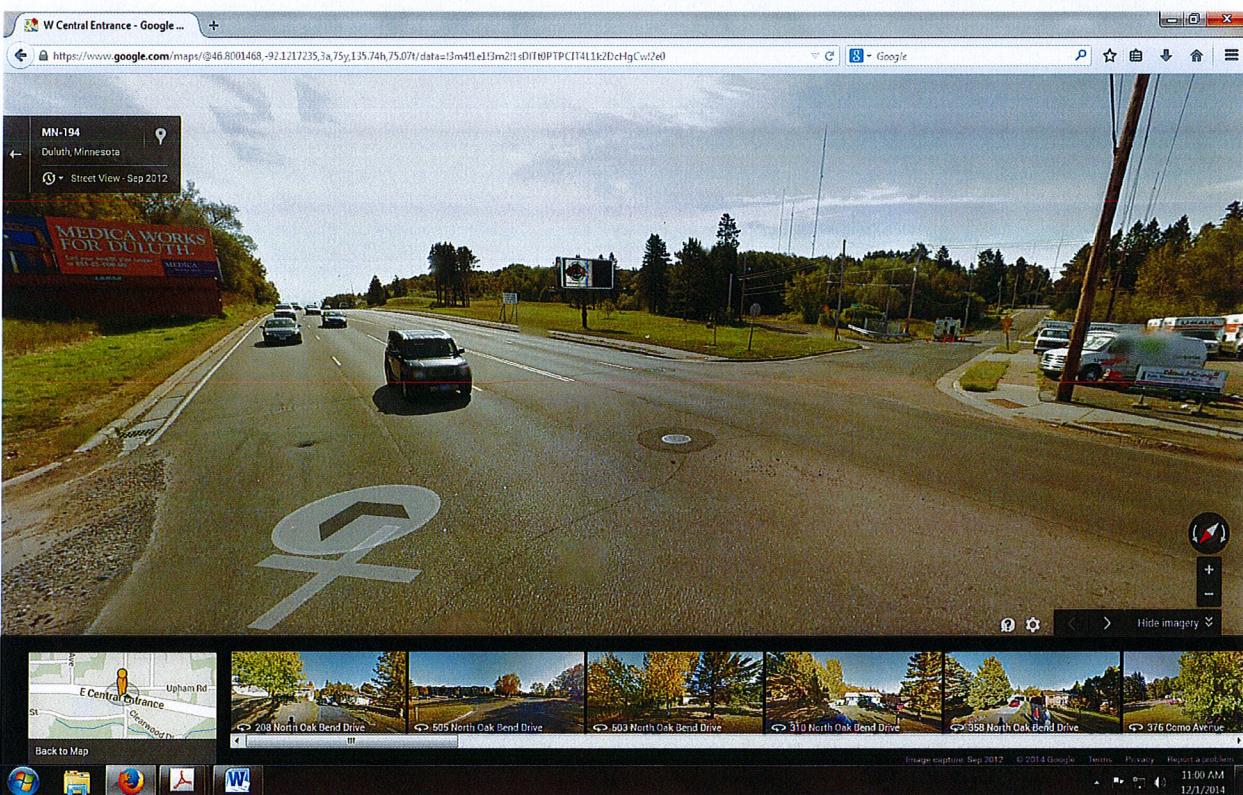
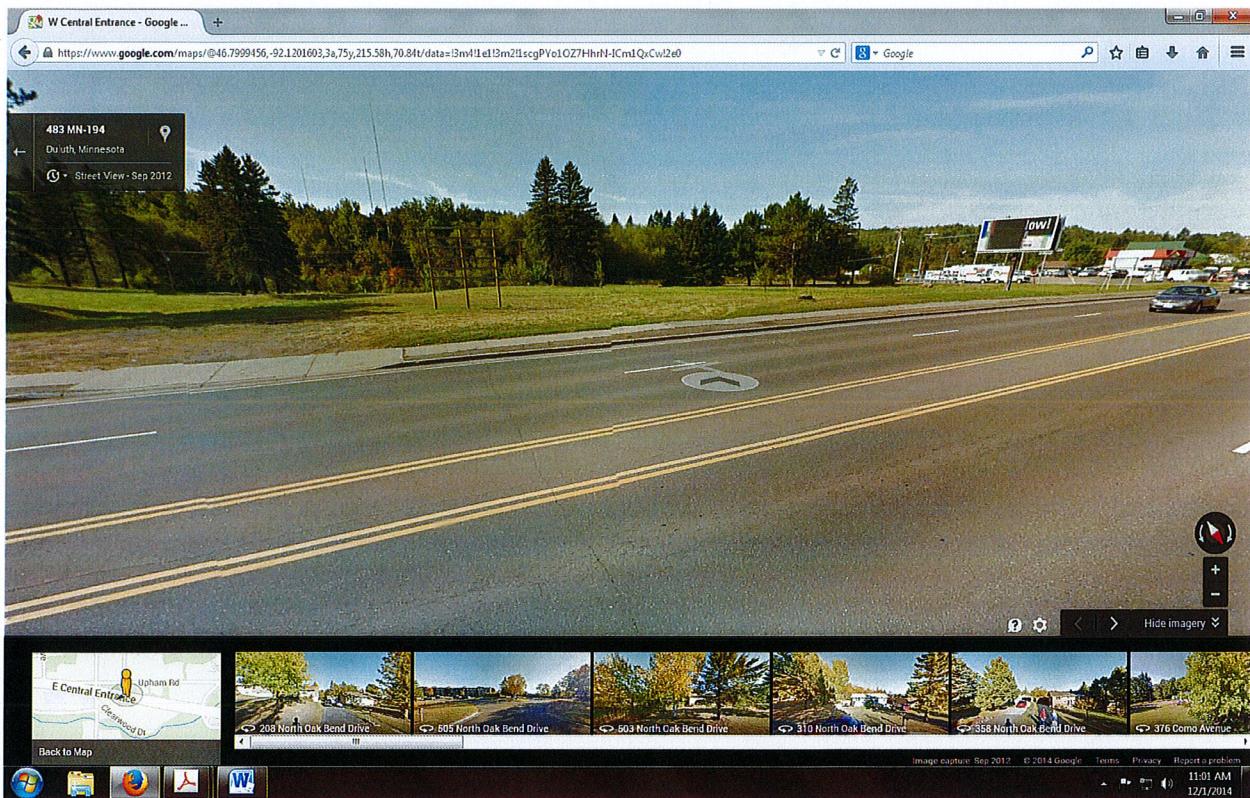
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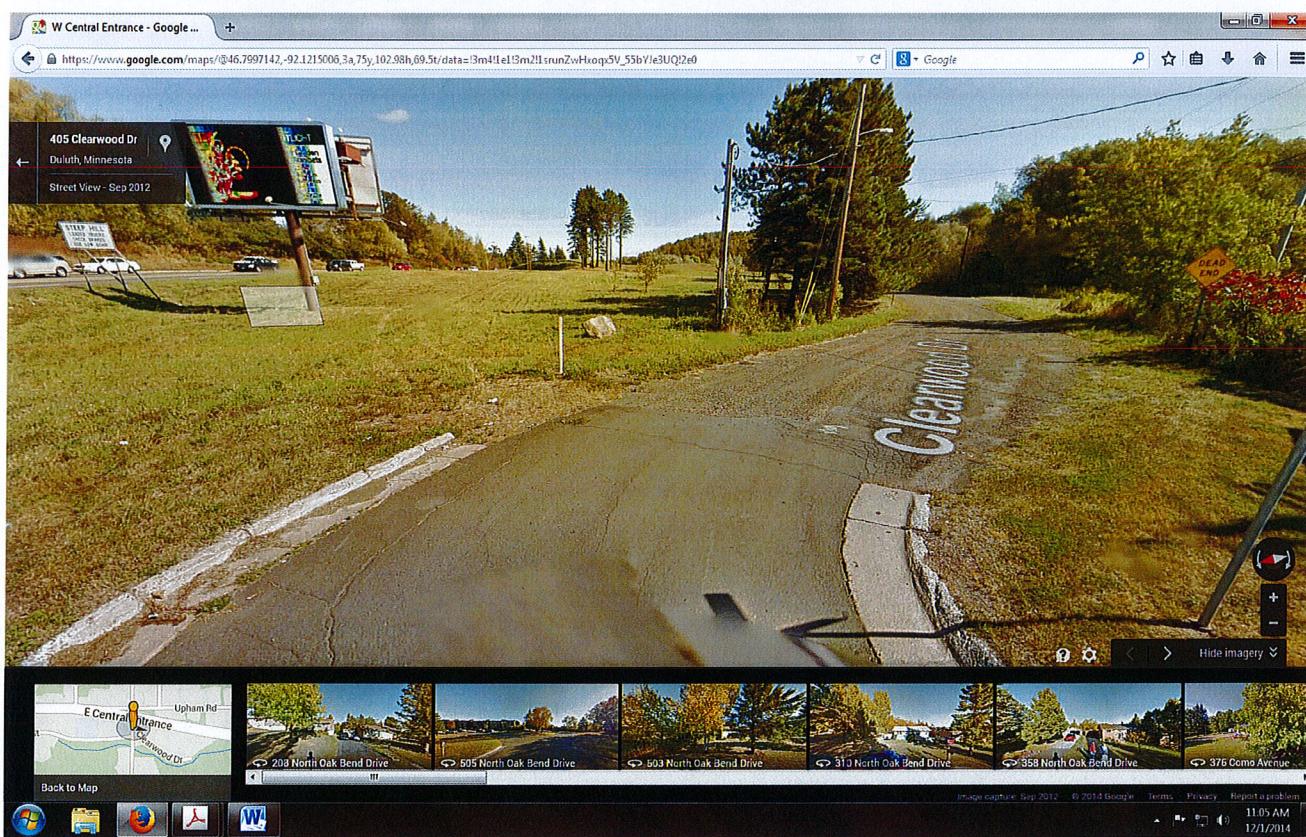
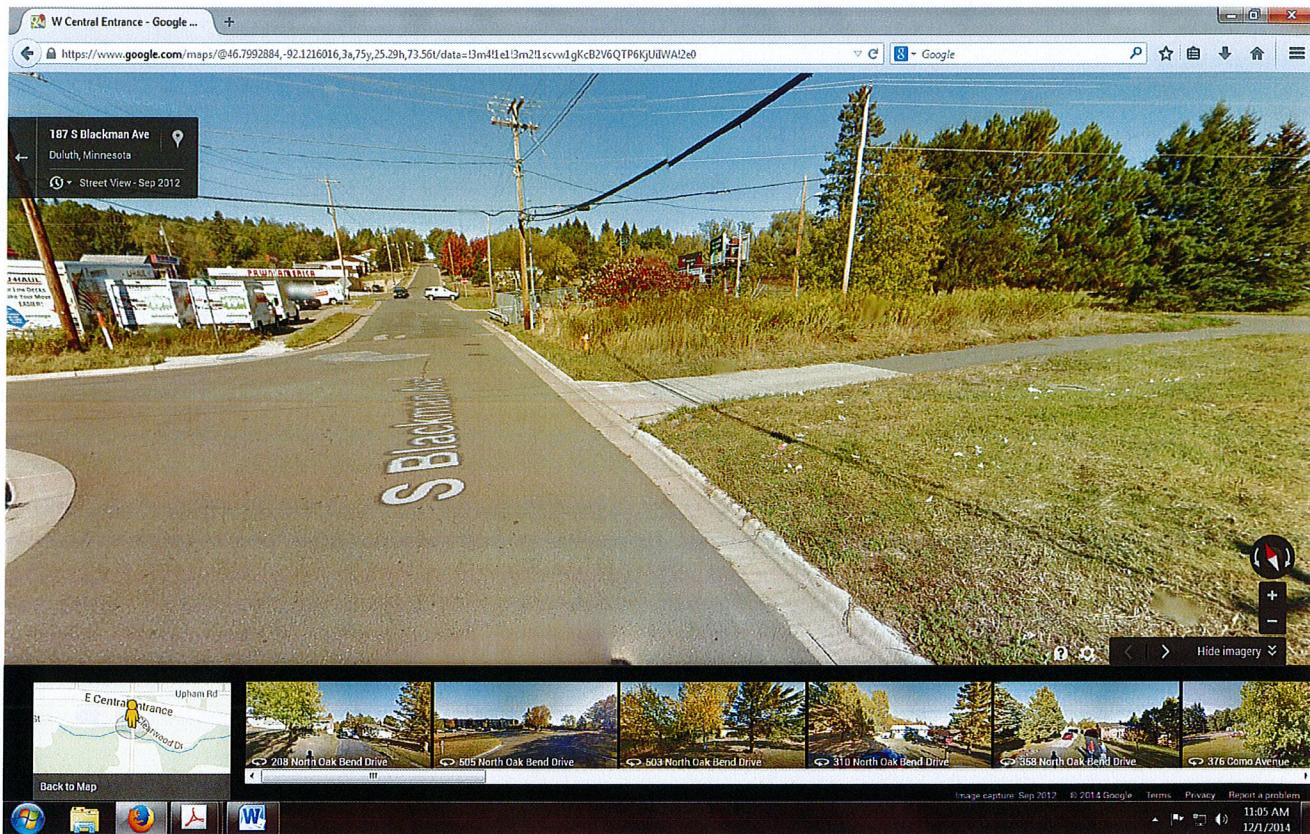
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Northridge Construction, Inc.  
1551 28th Ave South Suite L  
Grand Forks, ND 58201



Northridge Hospitality Management  
1551 28th Ave South Suite L  
Grand Forks, ND 58201

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November 5, 2014

City of Duluth, Planning and Construction Services  
411 West First Street, Room 210  
Duluth, MN 55802

**Proposed Staybridge Suites hotel development**

Duluth Planning Commission,

On behalf of Northridge Construction, Inc. and Northridge Hospitality Management, LLC, I am pleased to inform you of our company's interest in the city of Duluth as a highly anticipated future development project for a franchised hotel. This interest stems from the economic potential within the market and the ability to share the opportunities the area has to offer with our future guests.

The proposed hotel project would be located southeast of the Central Entrance and Blackman Avenue intersection. This project consists of a Staybridge Suites, which is one of InterContinental Hotels Group's extended stay hotels. Our designed prototype offers a four story, 98 room hotel with an indoor pool and hot tub that extends to the rear of the building in the courtyard. Our access would be provided off of Clearwood Drive. Additional information can be found within the documents submitted for Planning Review or by contacting myself directly.

On behalf of our team at Northridge, I want to extend our gratitude for the time and consideration received for the proposed Staybridge Suites development in Duluth. We look forward to discussing the project further at the Planning Review scheduled on December 9<sup>th</sup>, 2014.

Sincerely,

Brett Carlson  
Development Director  
Northridge Construction, Inc.  
[bcarlson@northridgenet.com](mailto:bcarlson@northridgenet.com)  
(218) 230-4170

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Northridge Construction, Inc.  
1551 28th Ave South Suite L  
Grand Forks, ND 58201



Northridge Hospitality Management  
1551 28th Ave South Suite L  
Grand Forks, ND 58201

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November 18, 2014

City of Duluth, Planning and Construction Services  
411 West First Street, Room 210  
Duluth, MN 55802

### **Design Standards**

Compliance Information on 50-30.2 Commercial and Institutional Design Standards

#### Applicability

A. Project is a Hotel use in MU-C

#### Facades and Articulation

B. Building will meet the transparency requirement and the other requirements listed under subsection B.

#### Entryway Design and Location

C. We will have a canopy for the entrance, and an outside patio(for guest use) in the courtyard of the building

To my understanding, no other subsections apply. However, should there be any additional information needed, please feel free to contact me directly.

Sincerely,

A handwritten signature in black ink, appearing to read "Brett Carlson".

Brett Carlson  
Development Director  
Northridge Construction, Inc.  
[bcarlson@northridgenet.com](mailto:bcarlson@northridgenet.com)  
(218) 230-4170

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## **Steven Robertson**

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**From:** Richard Smith <smithduluth@gmail.com>  
**Sent:** Tuesday, October 28, 2014 2:21 PM  
**To:** Steven Robertson  
**Cc:** Nathaniel Smith; Janell Smith  
**Subject:** Regarding PL 14-156, Staybridge Suites

Steve;

I might not be able to attend the zoning meeting, so I thought I had better email my concerns to you.

I would not want traffic from the hotel property to have access to South Blackman Ave. via Clearwood Drive unless there is a new traffic light added at Central Entrance. Residents of the area know not to attempt a risky left turn West onto Central Entrance from South Blackman as it involves a long wait due to heavy traffic on Central Entrance during the day and know to use Palm St. to South Arlington Ave. instead. Visitors at the hotel would not be aware of this, especially since Palm is not aligned with Clearwood and would block traffic in their attempt to turn left off of Blackman. Since the hotels access West at the proposed Central Entrance connection is blocked by a median island, I would suggest not building that connection and make a new road connecting to Pecan by extending Clearwood Drive to Pecan Ave and removing the South Blackman connection. This would allow the use of the traffic lights at Central Entrance and Pecan for hotel patrons to make a controlled left turn West.

Thank You for your Consideration.

--  
Richard H Smith  
204 S. Blackman Ave.  
Duluth MN 55811

218-461-0305

WWW.DuluthGeek.com

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